

- SITE NOTES:**
- Existing Land Use: Industrial Facility, Zoned "PD-1".
  - Contour information is based on an assumed Datum.
  - No portion of the site is within the 100-Year flood plain per the Federal Emergency Management Agency Flood Insurance Rate Maps for Brazos County, Texas, Map Number 48041C0195E, Effective May 16, 2012.
  - Solid Waste Disposal is and shall continue to be handled by Texas Commercial Waste, a private waste collection company.
  - Existing underground utility information has been obtained from the available records of the site.
  - Sewer and Water use will remain unchanged, based on current usage, due to building expansion.
  - Contractor shall be responsible for containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.
  - Parking Analysis:  
 Category: Manufacturing Operation  
 Requirement: 1 space/2 Employees on largest Shift  
 Largest Shift: 60  
 Required Spaces: 30  
 Existing Parking Spaces: 80  
 Parking Spaces Removed: 26  
 Parking Spaces Added: 29  
 Total Parking Spaces Provided: 83  
 Typical Spaces: 79  
 Handicap Spaces: 4
  - See Sheet L1.0 for Landscaping Plan.
  - All dimensions are from back-of-curb, unless noted otherwise.

- STRIPING NOTES:**
- Contractor shall be responsible for the "layout" of the striping plan in the field and stripe as shown on this sheet. All markings shall be white.
  - All paint, glass beads and application rates shall conform to TxDOT Item 666, ReflectORIZED pavement Markings, Type II Marking Materials.
  - All Parking Space Limit Lines shall be solid white lines 6" wide.
  - All marking/striping shall conform to current specifications of the Texas Manual on Uniform Traffic Control Devices, the TEXAS ACCESSIBILITY STANDARDS (TAS) of the Architectural Barriers Act [Article 9102, Texas Civil Statutes] from the Texas Department of Licensing and Regulation and City of Bryan Ordinances.
  - All Fire Lanes shall be designated by painting the curbs. The curbs shall be painted red with four inch (4") white lettering stating "No Parking Fire Lane Tow Away Zone" Wording may not be spaced more than fifteen feet (15') apart.

SITE DATA SUMMARY			
EXISTING USE:	INDUSTRIAL		
PROPOSED USE:	INDUSTRIAL		
ZONING:	PLANNED DEVELOPMENT INDUSTRIAL DISTRICT (PD-1)		
ADDRESS:	1500 INDEPENDENCE AV., BRYAN, TEXAS 77803		
LEGAL:	BRAZOS COUNTY INDUSTRIAL PARK PH 3, BLOCK 3, LOT 1, ACRES 12.96		
DESCRIPTION:	SAINT-GOBAIN NORPRO CORPORATION		
OWNER:	KEVIN MCCREARY, BURROW GLOBAL ARCHITECTS		
ARCHITECT:	12.96 ACRES TOTAL, 0.74 ACRES DISTURBED		
SITE AREA:	NO. OF STORIES: 1 STORY		
	PROPOSED	TOTAL SF	HEIGHT (FT)
	BUILDING:	16,031	26
	BUILDING SPRINKLER SYSTEM:		
FIRM MAP NO.:	48041C0195E		
	(Not located in 100 year floodplain or floodway)		

- NOTES:**
- RE: CIVIL DWGS. FOR ADDITIONAL INFORMATION
- LEGEND:**
- Electrical Manhole
  - Fire Hydrant
  - Light Pole
  - Power Pole
  - Sprinkler Head
  - Street Sign
  - Overhead Electrical Line
  - Under Ground Electric Line
  - Underground Utilities
  - Prop. Waterline & Fire Hydrant
  - Prop. Silt Fence
  - Ex. Ground Contour Line
  - Wire Fence
  - Chain Link Fence
  - Pipe Fence w/ Cable
  - Property Line
  - Subdivision Boundary
  - Easement Line
  - Project Area Limits

**NOTE: THIS PROJECT IS SUBJECT TO CURRENT FEDERAL & STATE ADA AND CODE STATUTES. REFER TO ARCHITECTURAL DRAWINGS, DETAILS, NOTES, & SPECIFICATIONS FOR DIMENSIONS, CLEARANCES, ETC.**

**CLIENT APPROVAL**

BY: \_\_\_\_\_

DATE: \_\_\_\_\_



**ISSUED FOR CONSTRUCTION**

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**REFERENCE DRAWINGS:**  
 G0.01 COVER SHEET - INDEX SHEET NUMBERS

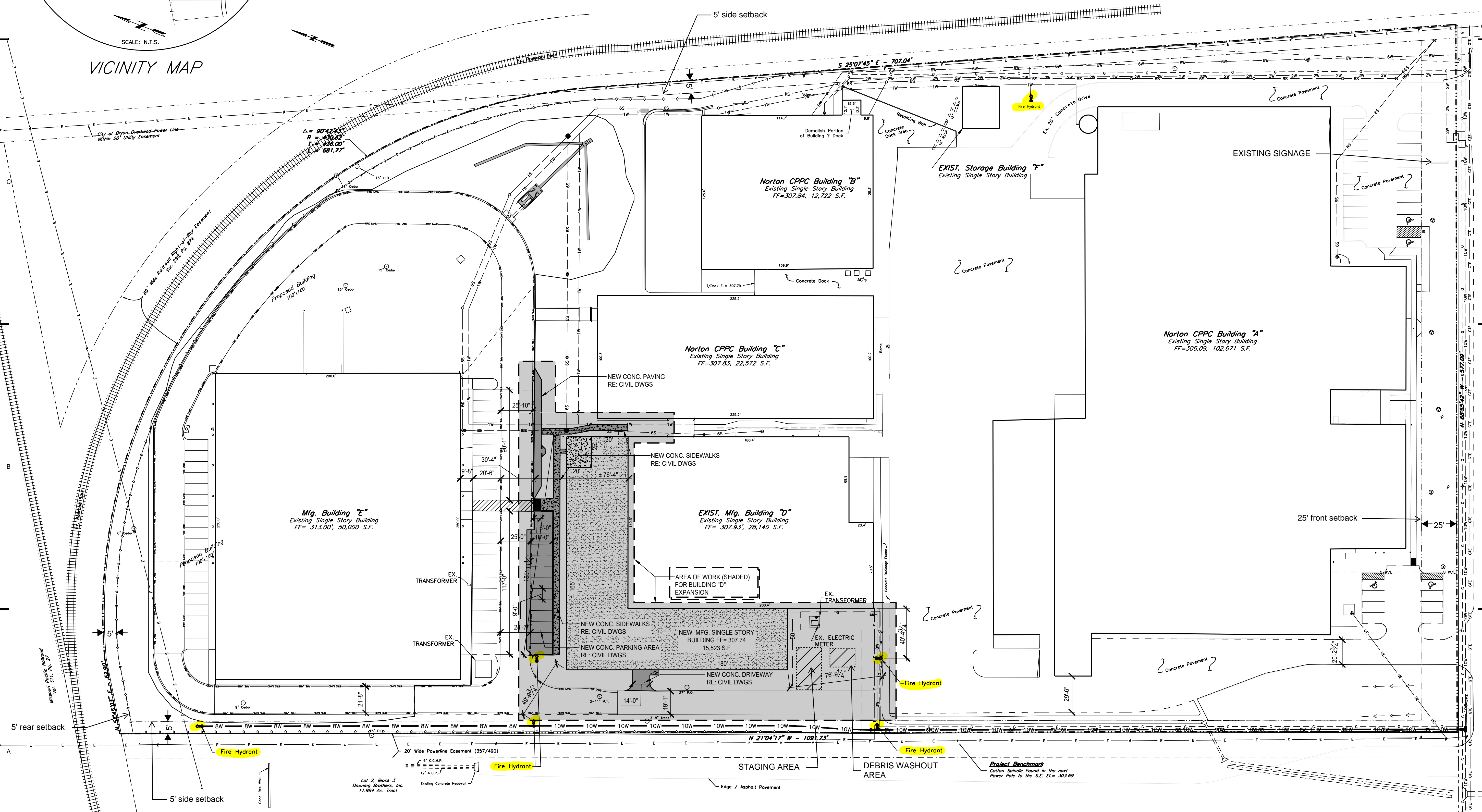
ALL ARCHITECTURAL SITE, CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, & FIRE PROTECTION DRAWINGS

REV	DATE	DESCRIPTION	HD	KM	ER
0	10/07/22	ISSUED FOR CONSTRUCTION			

Client: SAINT GOBAIN  
 Name: SAINT GOBAIN  
 Plant: SAINT GOBAIN  
 Site: BRYAN, TX  
 Client Job No: \_\_\_\_\_

**OVERALL SITE PLAN**

Project:	<b>BUILDING "D" EXPANSION</b>		
Drafter:	JLR	Designer:	JLR
Engineer:	KM	Checker:	KM
Manager:	ER	Project:	4121065
Scale:	AS NOTED	Drawing No:	<b>AS1.01</b>
		Rev:	<b>0</b>



**A1 OVERALL SITE PLAN**  
 AS1.01 SCALE: 1"=40'-0"

ADDRESS OF THE PROPERTY:  
 1500 INDEPENDENCE AVENUE, BRYAN, TX

- NOTES:
- An irrigation system to service all new planting must be approved by City and installed by a certified installer prior to issue of certificate of occupancy.
  - Contractor is responsible for final quantities as per drawings and specifications. Any quantities provided are for general layout purposes and should not be considered absolute.
  - All landscape materials shall be installed in accordance with the procedures established in the current addition of the American Standard for Nursery Stock, as published by the American Association of Nurserymen. All planting (trees, shrubs, groundcover and/or grass to be guaranteed for one year after final acceptance.
  - 100% coverage of groundcover, decorative paving, decorative rock or a perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way and adjacent property disturbed during construction.

**LANDSCAPE REQUIREMENTS**

<b>TOTAL PROJECT AREA (NEW):</b>		<b>AREAS REQUIRED:</b>	
NEW Parking Area and Sidewalks:	0 S.F.	Trees: 50% of Landscape Area:	1,160 S.F.
Building Expansion:	15,500 S.F.	Canopy Trees: 50% of the Trees:	581 S.F. (min.)
Total Proposed Improvements:	15,500 S.F.		
15,500 x 15% = 15,721 S.F.			
TOTAL ADDITIONAL LANDSCAPE AREA REQ'D = 2,325 S.F.			

Notes:

- Parking & sidewalk areas are to be demolished for underground detention feature and then replaced.  
No NEW parking & sidewalk square footage is to be added

**LANDSCAPE PROVIDED - EXISTING**

SYM.	QTY.	POINT VALUE	COMMON NAME	BOTANICAL NAME	SIZE	Square Footage
☉	38	200	Live Oak (exist)	Quercus Virginia	1-1/2" - 3"	7,600
☼	18	100	Bald Cypress (exist)	Taxodium distichum	1-1/2" - 3"	1,800
☼	15	100	Crepe Myrtle (existing)	Lagerstroemia indica	1-1/2" - 3"	1,500
☼	142	5	Waxleaf Ligustrum (existing)	Ligustrum japonicum 'Texanum'	2 gallon	710
☼	27,615	10 SF / 100 SF	Common Bermuda Grass (existing)	C. dactylon	N.A.	2,350 (max. allowed)
TOTAL EXISTING LANDSCAPING:						13,960
NEW LANDSCAPING REQUIRED:						2,325

**LANDSCAPE PROVIDED - NEW**

SYM.	QTY.	POINT VALUE	COMMON NAME	BOTANICAL NAME	SIZE	Square Footage
☉	-	350	Live Oak (new)	Quercus Virginia	> 3"	-
☉	5	200	Live Oak (new)	Quercus Virginia	1-1/2" - 3"	1,000
☼	3	200	Bald Cypress (new)	Taxodium distichum	1-1/2" - 3"	600
TOTAL TREES PROVIDED:						1,800
☼	4	150	Crepe Myrtle (new)	Lagerstroemia indica	1-1/2" - 3"	600
☼	7	10	Waxleaf Ligustrum (existing)	Ligustrum japonicum 'Texanum'	2 gallon	70
TOTAL NEW LANDSCAPING PROVIDED:						2,470

- Legend**
- 8" WA — Existing Water Line
  - 6" SA — Existing Sewer Line
  - G — Existing Gas Line
  - GTE — GTE Line
  - UGL — Under Ground Electrical Line
  - OEL — Overhead Electrical Line
  - ⊕ — Fire Hydrant
  - ⊕ — Gas Meter
  - ⊕ — Guy Anchor
  - ⊕ — Power Pole
  - ⊕ — Telephone Pedestal
  - ⊕ — Water Meter
  - ⊕ — Water Valve

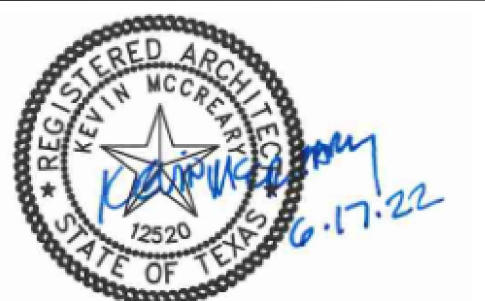
**NOTES:**

- RE: CIVIL DWGS. FOR ADDITIONAL INFORMATION

**NOTE: THIS PROJECT IS SUBJECT TO CURRENT FEDERAL & STATE ADA AND CODE STATUTES. REFER TO ARCHITECTURAL DRAWINGS, DETAILS, NOTES, & SPECIFICATIONS FOR DIMENSIONS, CLEARANCES, ETC.**

**CLIENT APPROVAL**

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_



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**REFERENCE DRAWINGS:**

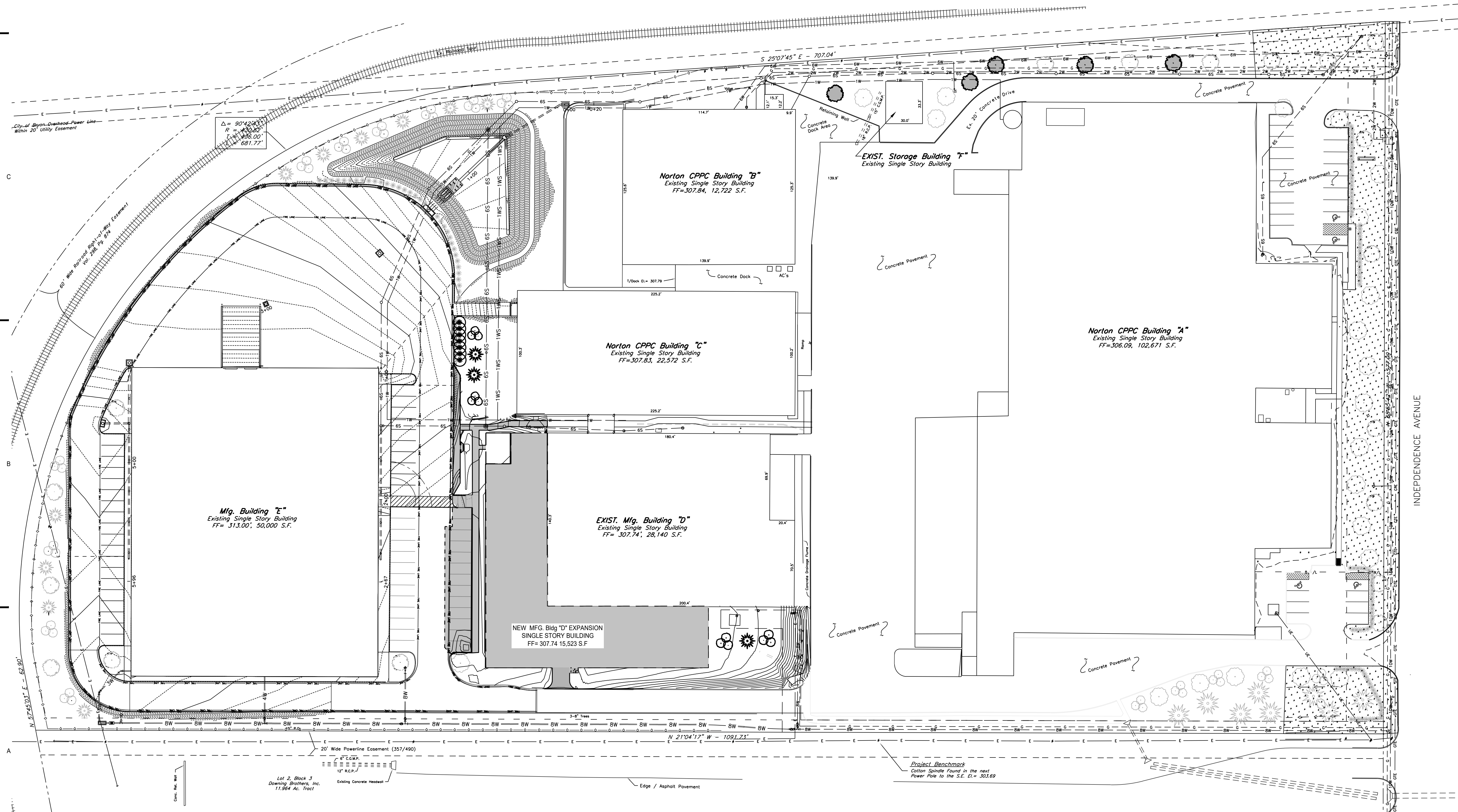
G0.01 COVER SHEET - INDEX SHEET NUMBERS  
ALL ARCHITECTURAL, SITE, CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, & FIRE PROTECTION DRAWINGS

REV	DATE	DESCRIPTION	HD	KM	ER
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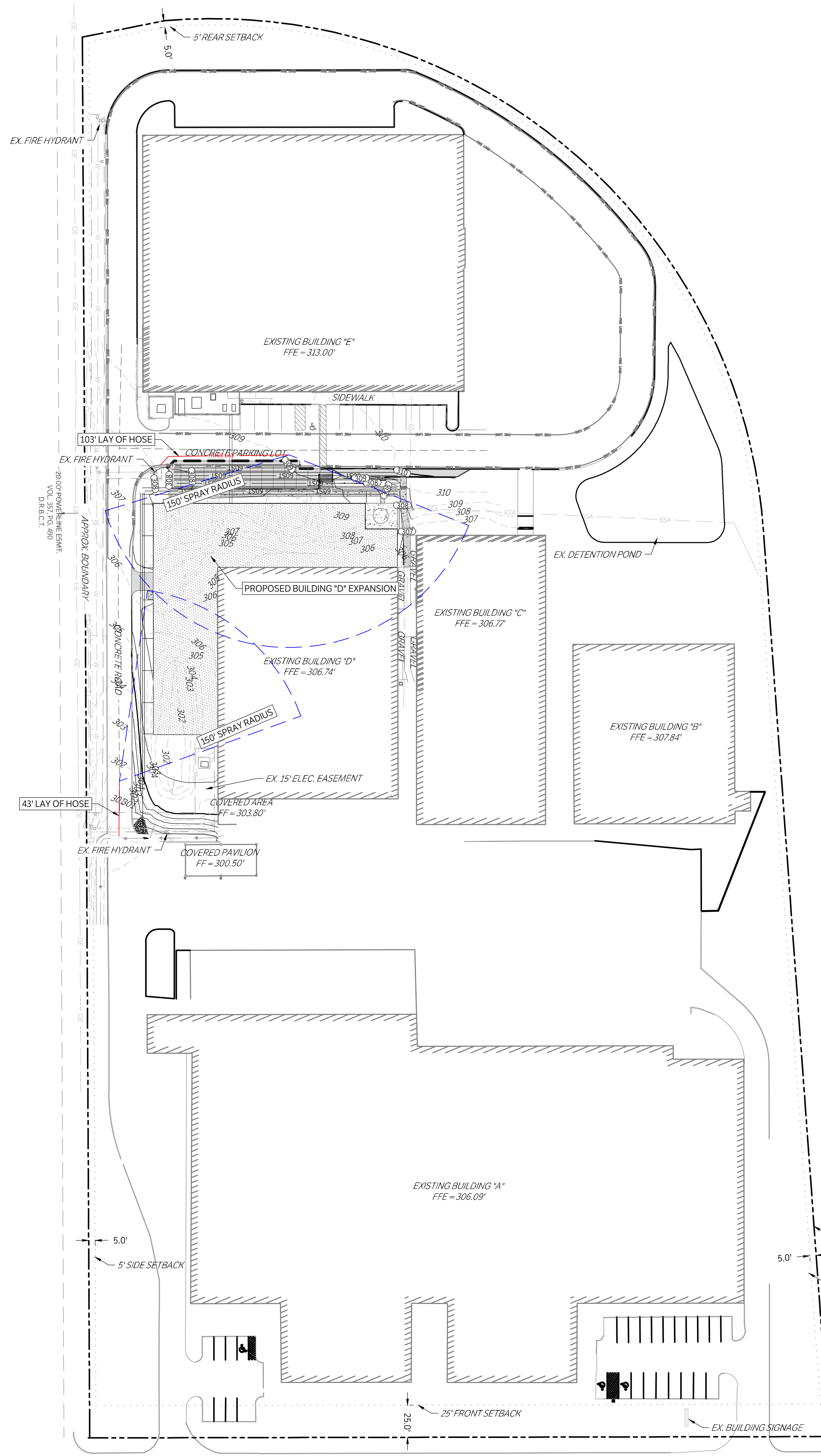
Client: SAINT GOBAIN  
Name: SAINT GOBAIN  
Plant: SAINT GOBAIN  
Site: BRYAN, TX

**LANDSCAPE SITE PLAN**

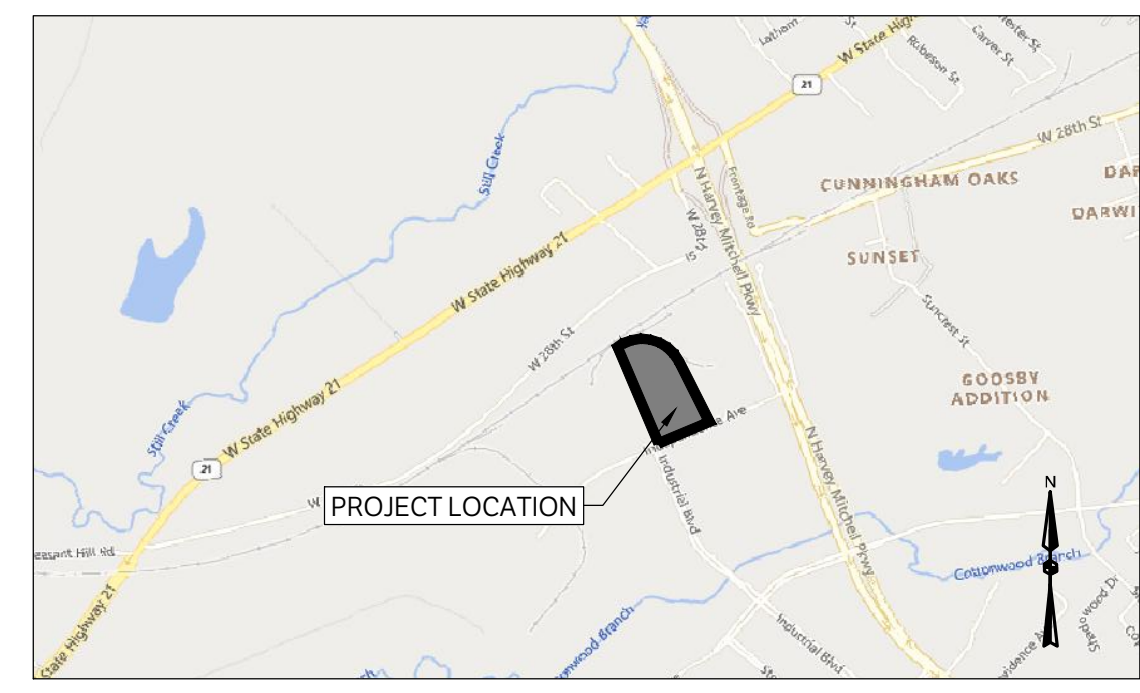
Project: <b>BUILDING "D" EXPANSION</b>	
Drafter: JLR	TEXAS FIRM NO. F-5417
Designer: JLR	<b>BURROW GLOBAL SERVICES</b>
Engineer:	
Checker: KM	
Manager: ER	
Project: 4121065	Drawing No: <b>L1.00</b>
Scale: AS NOTED	Rev: <b>0</b>



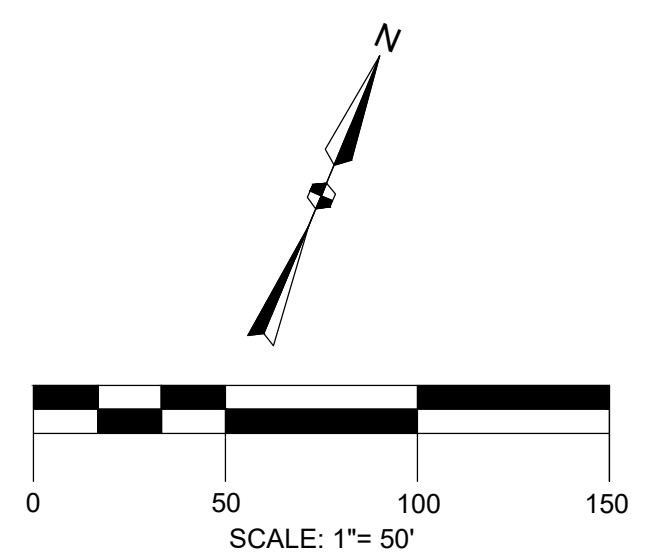
**L1 LANDSCAPE SITE PLAN**  
SCALE: 1"=40'-0"  
ADDRESS OF THE PROPERTY:  
1500 INDEPENDENCE AVENUE, BRYAN, TX



HOLLINGSHEAD MATERIALS LLC  
BRAZOS COUNTY INDUSTRIAL  
PARK PHASE II, BLOCK 3 LOT 2  
11.964 ACRES



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: 4 BM SQUARE WITH X CUT IN SIDEWALK LOCATED APPROXIMATELY 28' SOUTHEAST OF A FIRE HYDRANT AND APPROXIMATELY 6' SOUTH FROM THE BACK OF CURB.  
ELEVATION = 308.24'

SITE DATA SUMMARY			
EXISTING USE:	INDUSTRIAL		
PROPOSED USE:	INDUSTRIAL		
ZONING:	PLANNED DEVELOPMENT INDUSTRIAL DISTRICT (PD-I)		
ADDRESS:	1500 INDEPENDENCE AV. BRYAN, TEXAS 77803		
LEGAL:	BRAZOS COUNTY INDUSTRIAL PARK PH 3, BLOCK 3, LOT 1, ACRES 12.96		
DESCRIPTION:	SAINT-GOBAIN NORPRO CORPORATION		
OWNER:	SAINT-GOBAIN NORPRO CORPORATION		
ARCHITECT:	KEVIN MCCREARY, BURROW GLOBAL ARCHITECTS		
SITE AREA:	12.96 ACRES TOTAL, 0.74 ACRES DISTURBED		
NO. OF STORIES:	1 STORY		
PROPOSED BUILDINGS:	TOTAL SF	HEIGHT (FT)	TYPE
BUILDING SPRINKLER SYSTEM:	16,031	26	
FIRM MAP NO:	48041C0195E (Not located in 100 year floodplain or floodway)		

LEGEND	
	PROPOSED STRUCTURAL PAVEMENT
	PROPOSED 4" CONCRETE PAVEMENT
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX.   PROP. STORM LINE
	EX.   PROP. WATER LINE
	EX.   PROP. SANITARY SEWER LINE
	EXISTING THERMALS
	PROPOSED THERMALS
	EX.   PROP. GAS LINE
	EX.   PROP. DATA/TELECOM
	EX.   PROP. UNDERGROUND ELECTRIC
	EX.   PROP. FIBER OPTIC
	EX.   PROP. OVERHEAD ELECTRIC
	EX.   PROP. FIRE HYDRANT
	EX.   PROP. WATER METER
	EX.   PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX.   PROP. SANITARY SEWER MANHOLE
	EX.   PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX.   PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT



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www.gessnerengineering.com  
FIRM REGISTRATION NUMBERS:  
TBPE F-7451, TBPLS F-10193910



FOR CONSTRUCTION

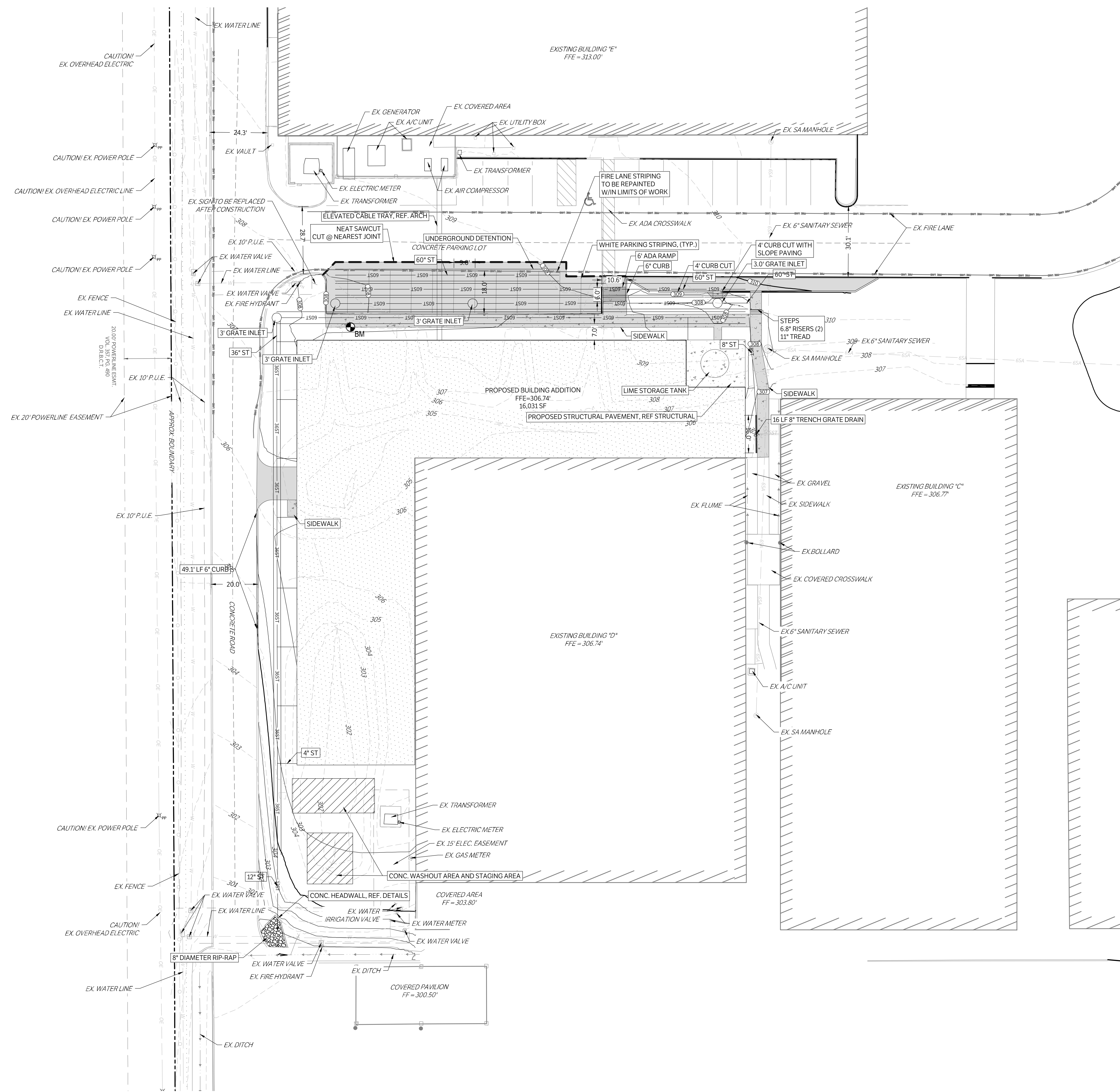
SAINT-GOBAIN BUILDING D EXPANSION  
1500 INDEPENDENCE AVENUE  
BRYAN, TEXAS 77803

OVERALL SITE PLAN

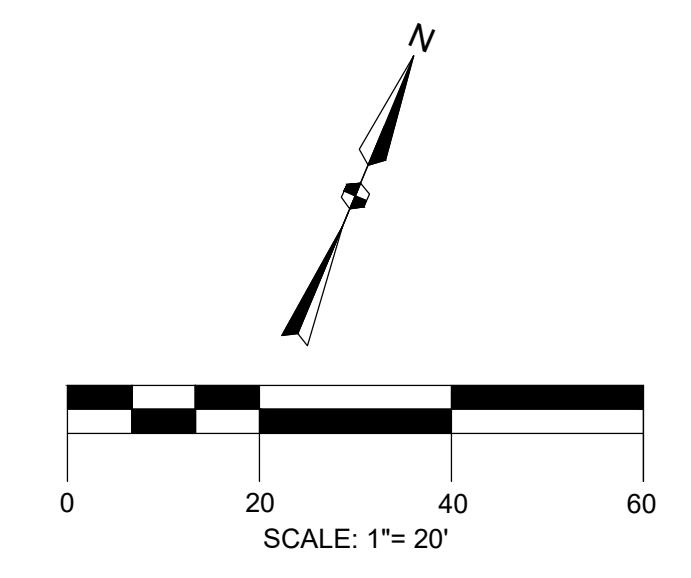
ISSUE DATE: 06/23/2022  
DRAWN BY: JS  
CHECKED BY: MK  
PROJECT #: 21-1343

REVISIONS	
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REV.	DATE DESCRIPTION

C100



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: 4 BM SQUARE WITH X CUT IN SIDEWALK LOCATED APPROXIMATELY 28' SOUTHEAST OF A FIRE HYDRANT AND APPROXIMATELY 6' SOUTH FROM THE BACK OF CURB.  
ELEVATION = 308.24'

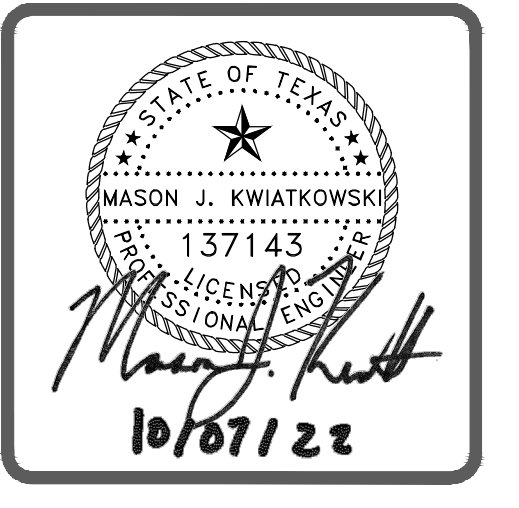
SITE DATA SUMMARY			
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ZONING:	PLANNED DEVELOPMENT INDUSTRIAL DISTRICT (PD-I)		
ADDRESS:	1500 INDEPENDENCE AV. BRYAN, TEXAS 77803		
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DESCRIPTION:	SAINT-GOBAIN NORPRO CORPORATION		
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	16,031	26	
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FIRM MAP NO.:	48041C0195E		
	(Not located in 100 year floodplain or floodway)		

LEGEND	
[Symbol]	PROPOSED STRUCTURAL PAVEMENT
[Symbol]	PROPOSED 4" CONCRETE PAVEMENT
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[Symbol]	PROPOSED BUILDING
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FOR  
CONSTRUCTION

SAINT-GOBAIN BUILDING D EXPANSION  
 1500 INDEPENDENCE AVENUE  
 BRYAN, TEXAS 77803

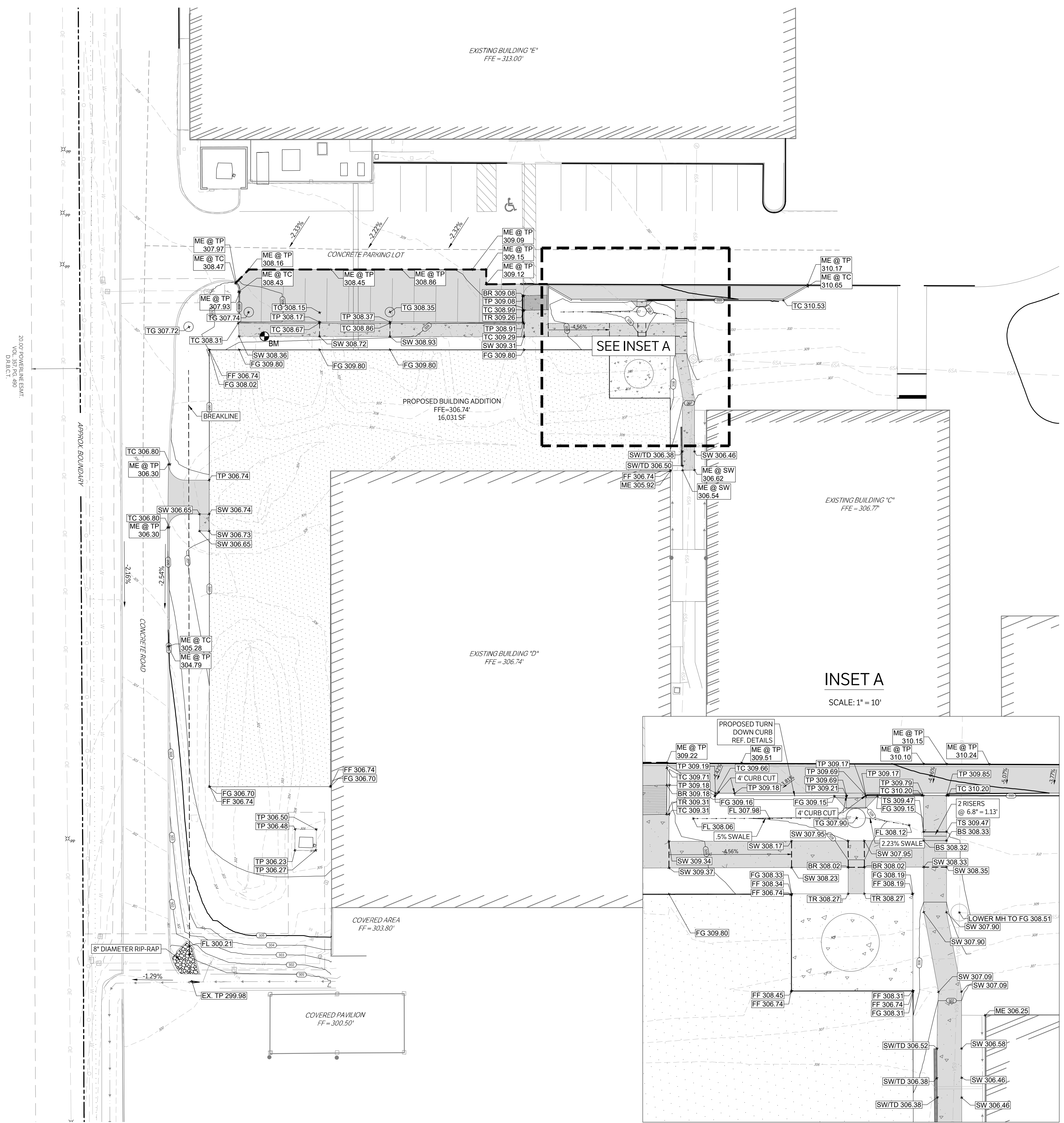
**SITE PLAN**

ISSUE DATE: 06/23/2022  
 DRAWN BY: JS  
 CHECKED BY: MK  
 PROJECT #: 21-1343

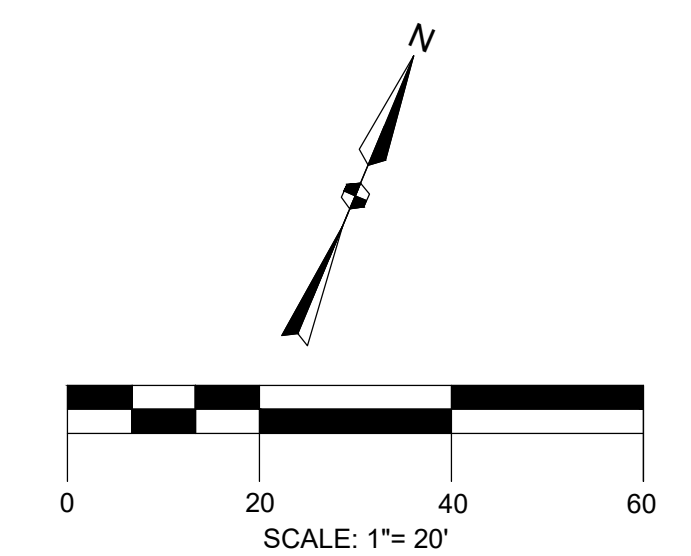
**REVISIONS**

REV.	DATE	DESCRIPTION

**C101**



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK:  $\blacklozenge$  BM SQUARE WITH X CUT IN SIDEWALK LOCATED APPROXIMATELY 28' SOUTHEAST OF A FIRE HYDRANT AND APPROXIMATELY 6' SOUTH FROM THE BACK OF CURB.  
ELEVATION = 308.24'

SEE INSET A

INSET A  
SCALE: 1" = 10'

LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPERTY LINE
	PROPOSED SWALE WITH DIRECTION OF FLOW ARROWS
	PROPOSED RETAINING WALL
BR	PROPOSED FINISHED GRADE AT BOTTOM OF RAMP
BS	PROPOSED FINISHED GRADE AT BOTTOM OF STAIR
BW	PROPOSED FINISHED GRADE AT BASE OF WALL
FG	PROPOSED FINISHED GRADE ELEVATION
FL	PROPOSED FLOWLINE ELEVATION
G	PROPOSED GUTTER FLOWLINE ELEVATION
GB	PROPOSED GRADE BREAK
JB	PROPOSED TOP OF JUNCTION BOX ELEVATION
ME @ SW	MATCH EXISTING SIDEWALK ELEVATION***
ME @ TC	MATCH EXISTING TOP OF CURB ELEVATION***
ME @ TP	MATCH EXISTING AT TOP OF PAVEMENT ELEVATION***
SW	PROPOSED TOP OF PAVEMENT AT SIDEWALK ELEVATION
TC	PROPOSED TOP OF CURB ELEVATION
TG	PROPOSED TOP OF GRATE ELEVATION
TP	PROPOSED TOP OF PAVEMENT ELEVATION
TR	PROPOSED TOP OF RAMP ELEVATION
TW	PROPOSED TOP OF WALL ELEVATION

\*\*\*CONTACT GESSNER ENGINEERING WITH ANY DISCREPANCIES BETWEEN THE ME ELEVATION CALLED OUT ON THE PLANS AND FIELD CONDITIONS



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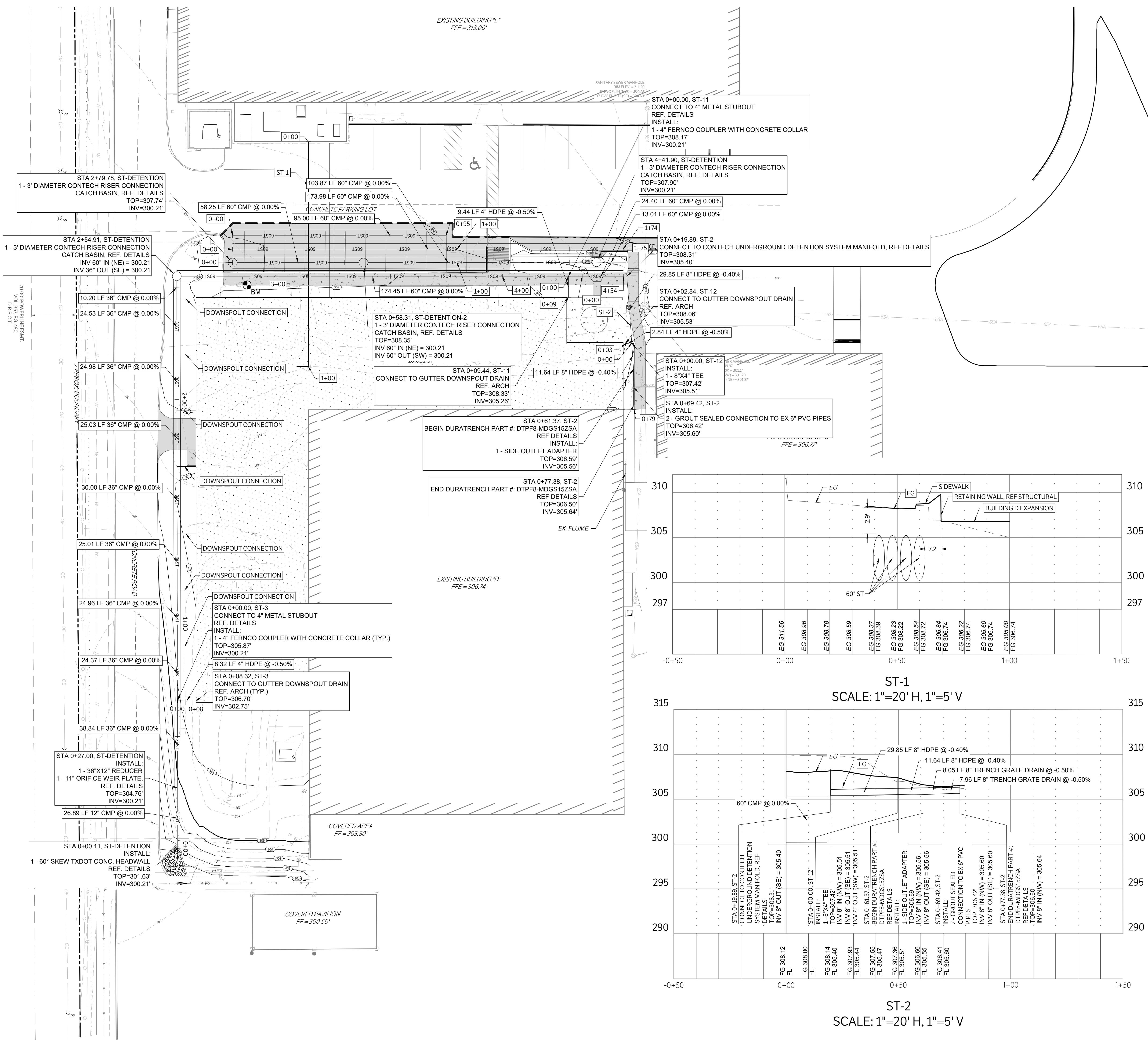
SAINT-GOBAIN BUILDING D EXPANSION  
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 BRYAN, TEXAS 77803

GRADING PLAN

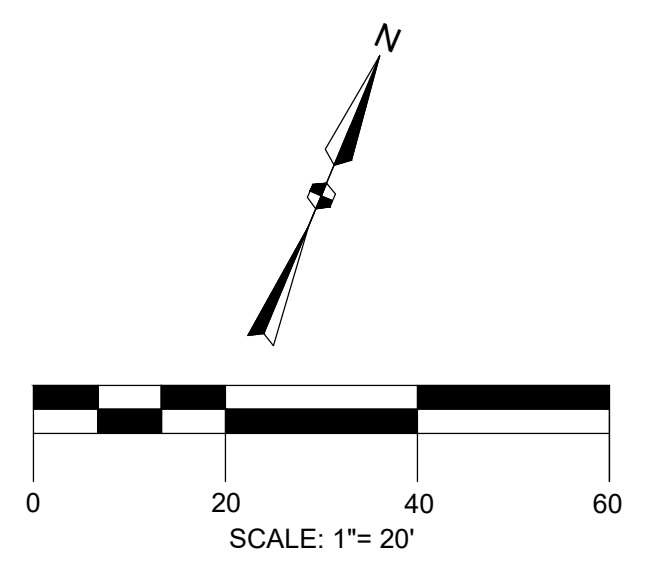
ISSUE DATE: 06/23/2022  
DRAWN BY: JS  
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PROJECT #: 21-1343

REVISIONS	
REV.	DATE DESCRIPTION

C500



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CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: 6" BM SQUARE WITH X CUT IN SIDEWALK LOCATED APPROXIMATELY 28' SOUTHEAST OF A FIRE HYDRANT AND APPROXIMATELY 6' SOUTH FROM THE BACK OF CURB.  
ELEVATION = 308.24'



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TBPE F-7451, TBPLS F-10193910



FOR CONSTRUCTION

SAINT-GOBAIN BUILDING D EXPANSION  
 1500 INDEPENDENCE AVENUE  
 BRYAN, TEXAS 77803

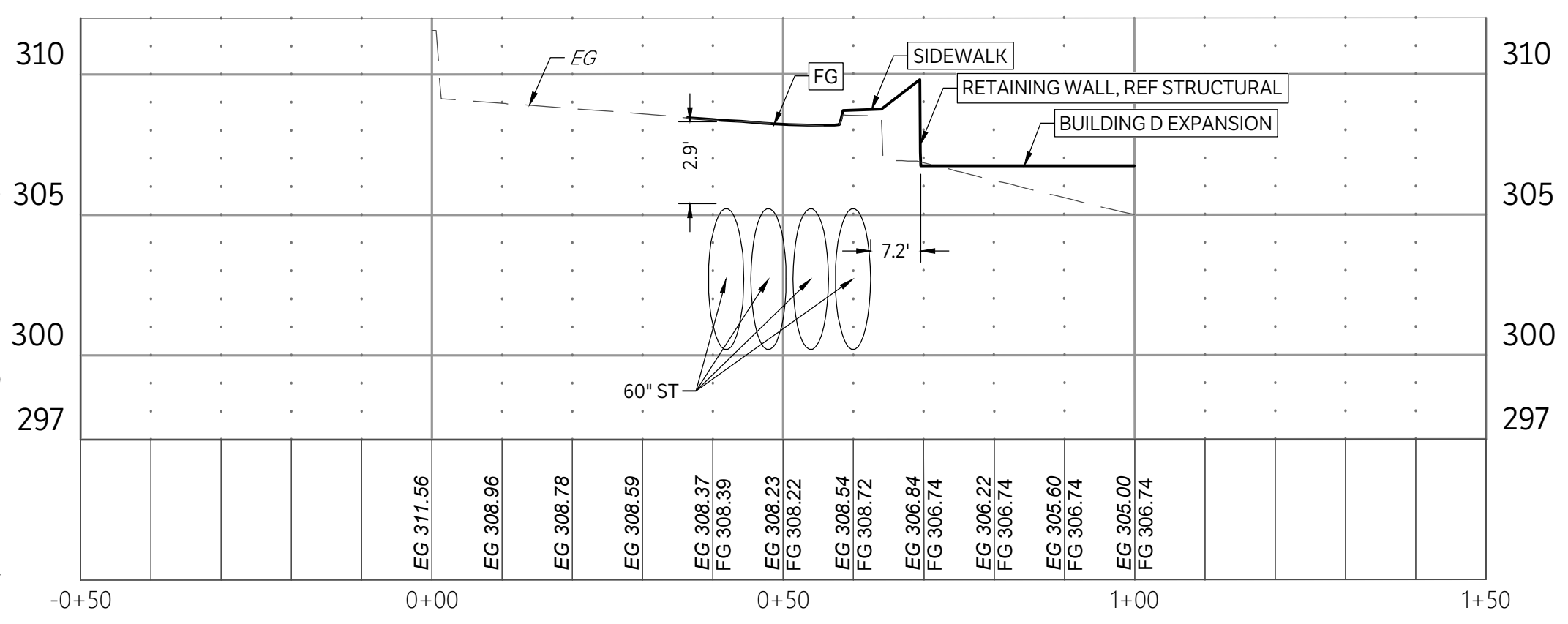
STORM PLAN & PROFILE

ISSUE DATE: 06/23/2022  
DRAWN BY: JS  
CHECKED BY: MK  
PROJECT #: 21-1343

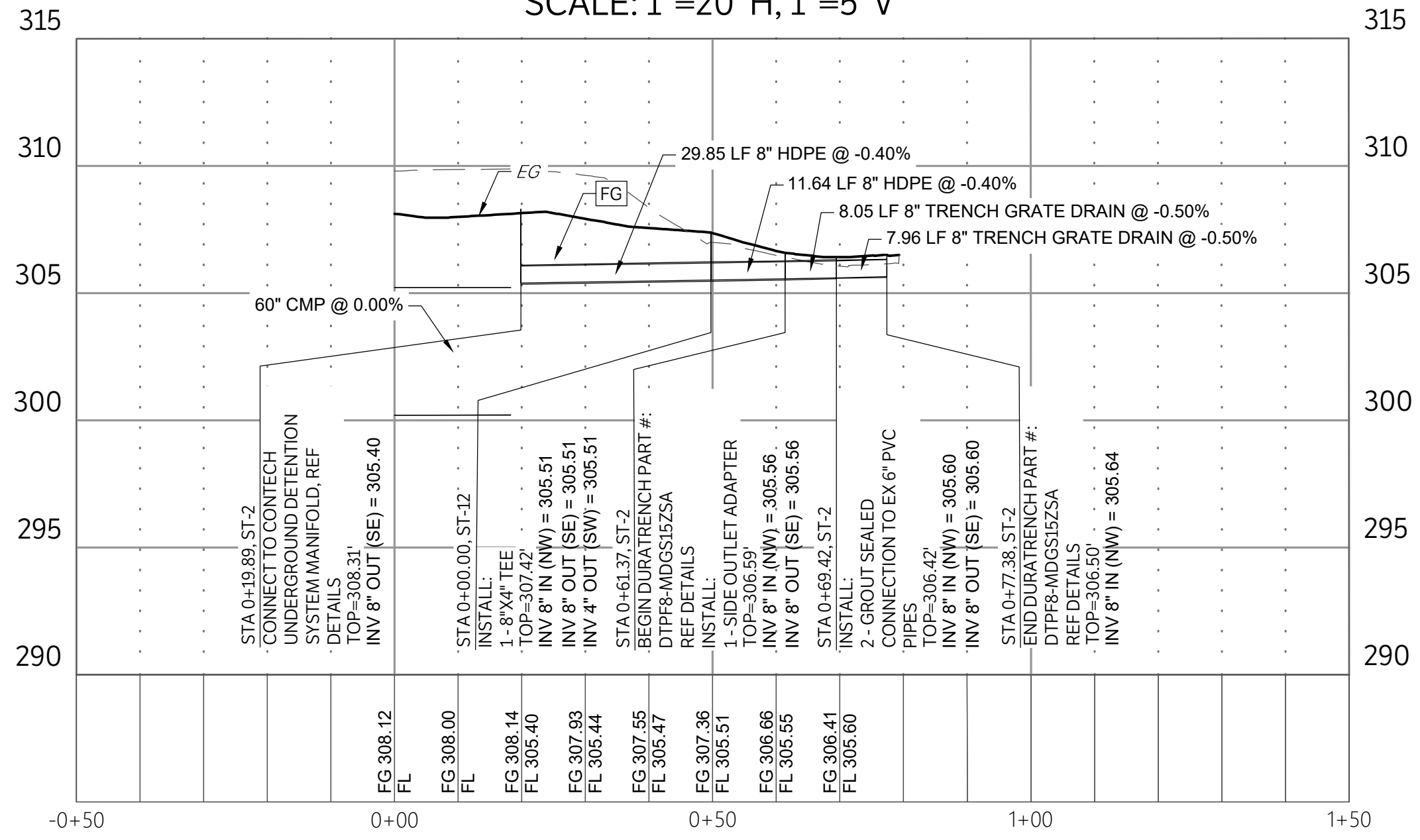
REVISIONS

REV.	DATE	DESCRIPTION

C700



ST-1  
SCALE: 1"=20' H, 1"=5' V



ST-2  
SCALE: 1"=20' H, 1"=5' V

LEGEND

	PROPOSED STRUCTURAL PAVEMENT
	PROPOSED 4" CONCRETE PAVEMENT
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX.   PROP. STORM LINE
	EX.   PROP. WATER LINE
	EX.   PROP. SANITARY SEWER LINE
	EXISTING THERMALS
	PROPOSED THERMALS
	EX.   PROP. GAS LINE
	EX.   PROP. DATA/TELECOM
	EX.   PROP. UNDERGROUND ELECTRIC
	EX.   PROP. FIBER OPTIC
	EX.   PROP. OVERHEAD ELECTRIC
	EX.   PROP. FIRE HYDRANT
	EX.   PROP. WATER METER
	EX.   PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX.   PROP. SANITARY SEWER MANHOLE
	EX.   PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX.   PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT